



Administrative Approval Action

Case File / Name: SUB-0073-2021
DSLCL - 4001 Maynard Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Old Poole Road, east of Dowling Road at 4001 Maynard Place. This site is outside the city limits.

REQUEST: Subdivision of a R-6 zoned, vacant 0.52 acre/22,940 sf tract with proposed right-of-way dedication of 761 sf leaving a net area of 22,179 sf/0.51 acres. The subdivision proposes 3 detached single-unit lots. Proposed New Lot 1 being 7,398 sf/0.17 ac; New Lot 2 - 7,397 sf/0.17 ac; New Lot 3 being 7,382 sf/0.17 ac.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 7, 2022 by George Finch/Boney and Associates, P.A..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Submit a petition of annexation form for review and processing prior to approval of any recorded map and recording at Wake County Register of Deeds.

Engineering

2. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.



Administrative Approval Action

Case File / Name: SUB-0073-2021
DSLCL - 4001 Maynard Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

4. A 5' and 2.5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. A fee-in-lieu for sidewalk shall be paid to the City of Raleigh (UDO 8.1.10).
6. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Urban Forestry

7. A public infrastructure surety for 3 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
2. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Maynard Place.

The following are required prior to issuance of building occupancy permit:

General



Administrative Approval Action

Case File / Name: SUB-0073-2021
DSLCL - 4001 Maynard Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

1. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: June 8, 2025
Record at least $\frac{1}{2}$ of the land area approved.

5-Year Sunset Date: June 8, 2027
Record entire subdivision.

I hereby certify this administrative decision.

Signed: *Alycia Bailey Taylor* Date: 02/09/2022
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

PRELIMINARY SUBDIVISION

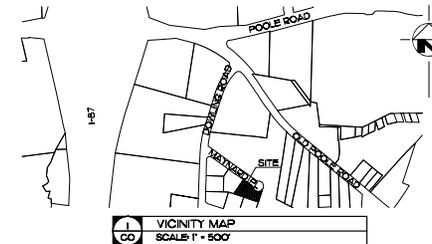
4001 MAYNARD PLACE

RALEIGH, NORTH CAROLINA

PROJECT #: SUB-0073-2021

OWNER / DEVELOPER:
Angel Garcia Camacho and Juana Margarita Zarate Martinez
 4017 Gregory Lane, Raleigh, NC 27610

SITE/CIVIL
GEORGE FINCH/BONEY & ASSOCIATES, PA
 309 NORTH BOYLAN AVENUE, RALEIGH, NC 27603-1402
 TEL. (919) 833-1212
 GEORGE M. FINCH, JR., RLA - LICENSE # NC 375



SITE DATA TABLE

SITE INFORMATION
 PIN NUMBER 1723736218
 OWNER ANGEL GARCIA CAMACHO AND JUANA MARGARITA ZARATE MARTINEZ
 ADDRESS 4001 MAYNARD PLACE, RALEIGH, NC
 TOTAL AREA 22,940 SF, 0.5266 ACRES
 RIGHT-OF-WAY DEDICATION 761 SF
 NET AREA 22,179 SF, 0.5091 ACRES
 ZONING: R-6
 ZONING OVERLAY: NONE
 WATERSHED NEUSE RIVER BASIN
 WATERSHED PROTECTION AREA: NONE
 NO FRONTAGE REQUIREMENT

RIGHT OF WAY IMPROVEMENTS
 PROPOSED WIDEN EXISTING STREET TO 20' AND ENLARGE CUL-DE-SAC TO MEET REQUIREMENTS FOR EMERGENCY VEHICLES. REQUEST FEE IN LIEU TO INCLUDE 6' CONCRETE SIDEWALK, 1/2 OF 27' STREET SECTION INCLUDING CURB AND GUTTER.

RIGHT OF WAY DEDICATION OF 761 SF IS PROPOSED TO ACCOMMODATE ENLARGEMENT OF CUL-DE-SAC, EXISTING 60' RIGHT OF WAY EXCEEDS REQUIRED RIGHT OF WAY WIDTH OF 55'. NO ADDITIONAL RIGHT OF WAY DEDICATION IS PROPOSED ALONG MAYNARD PLACE.

DEVELOPMENT INFORMATION:
 EXISTING USE VACANT
 EXISTING FLOOR AREA 0 SF
 PROPOSED USE SINGLE UNIT LIVING
 PROPOSED DEVELOPMENT TYPE CONVENTIONAL DETACHED HOUSE
 TOTAL LOTS PROPOSED 3
 TOTAL DWELLING UNITS PROPOSED 3

STORMWATER MANAGEMENT
 THE PROPOSED SUBDIVISION IS LESS THAN ONE ACRE IN AGGREGATE SIZE, TO BE USED FOR SINGLE-UNIT DETACHED HOUSING, AND IS THEREFORE EXEMPT UNDER UDO SECTION 9.2.2.A.2.B) FROM ACTIVE STORMWATER CONTROL REQUIREMENTS. IMPERVIOUS SURFACE SHALL NOT EXCEED 51% OF THE AREA OF ANY LOT.

MINIMUM REQUIRED LOT DIMENSIONS
 WIDTH 50'
 DEPTH 80'

RIGHT OF WAY IMPROVEMENTS WILL REQUIRE THE ADDITION OF 3834 SF OF IMPERVIOUS AREA. ONE THIRD (1278 SF) OF THE IMPERVIOUS AREA WITHIN THE RIGHT OF WAY WILL BE DEDUCTED FROM THE ALLOWABLE IMPERVIOUS AREA OF EACH OF THE THREE LOTS.

AREAR 6500 SF
PROPOSED LOT AREA
 LOT 1: 7398 SF, 1698 AC
 LOT 2: 7397 SF, 1698 AC
 LOT 3: 7382 SF, 1695 AC

ALLOWABLE IMPERVIOUS AREA PER LOT
 LOT 1: 518 X 7398 SF - 1278 SF + 2495 SF
 LOT 2: 518 X 7397 SF - 1278 SF + 2495 SF
 LOT 3: 518 X 7382 SF - 1278 SF + 2487 SF

REQUIRED SETBACKS:
 PRIMARY STREET: 10'
 SIDEY 5'
 REAR 20'
 MAX. BUILDING HEIGHT ALLOWED: 40' / 3 STORIES
 GROUND FLOOR ELEVATION 2' IF 20' OR LESS FROM PROPERTY LINE

TREE CONSERVATION
 NOT REQUIRED, SITE IS LESS THAN 2 ACRES. (UDO 91.2)

GENERAL NOTES

- BOUNDARY LINES, EXISTING UTILITIES, AND EXISTING STRUCTURES TAKEN FROM A SURVEY CONDUCTED BY GEORGE FINCH-BONEY AND ASSOCIATES, P.A. COMPLETED ON 1/14/2021.
- TOPOGRAPHIC INFORMATION PROVIDED BY WAKE COUNTY GIS.
- ALL DIMENSIONS AND STAKING POINTS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTORS SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
- ALL PERMITS RELATIVE TO THIS PROJECT SHALL BE OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- NO FEMA MAPPED FLOOD BOUNDARIES EXIST ON THE PROJECT SITE.
- THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.
- NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED IN CONJUNCTION WITH BUILDING PERMIT SUBMITTALS. DRIVEWAYS SHALL CONFORM TO CITY OF RALEIGH STANDARDS.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- SOLID WASTE TO BE HANDLED BY ROLL-OUT CONTAINERS FOR EACH LOT.
- PROPERTY IS SUBJECT TO RESIDENTIAL INFILL RULES PER UDO SECTION 22.7. NO CONSTRUCTION EXISTS ON NEIGHBORING PROPERTIES TO BE USED IN DETERMINING A COMPARATIVE SAMPLE SETBACKS ARE DETERMINED BY UNDERLYING ZONING REQUIREMENTS.
- PER UDO SEC. 91.2 THE PROPERTY IS EXEMPT FROM BLOCK PERMETER REQUIREMENTS.

INDEX OF DRAWINGS

- C0 COVER SHEET
- C1 EXISTING CONDITIONS
- C2 SITE PLAN AND LANDSCAPING PLAN
- C3 UTILITIES PLAN

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, SPECIFICATIONS, AND DETAILS OF THE CITY OF RALEIGH AND THE MCDOT.

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO NOTED.

Preliminary Subdivision Application
 Planning and Development

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)

Conventional Subdivision Compact Development Conservation Development Cottage Court

NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION

Scoping/sketch plan case number(s): **SCOPE-0061-2021**

Development name (subject to approval):
 Property Address(es): **4001 Maynard Place, Raleigh, NC**

Recorded Deed PIN(s): 1723736218, DIFFD BOOK 17861, PAGE 987

What is your project type?
 Single family Townhouse Attached houses
 Apartment Non-residential Other:

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION
 NOTE: Please attach purchase agreement when submitting this form

Company: N/A Owner/Developer Name and Title: MARGARITA ZARATE MARTINEZ
 Address: 4017 Gregory Lane, Raleigh, NC 27610
 Phone #: 919-816-2943 Email:

APPLICANT INFORMATION

Company: George Finch-Boney and Ass.P.A. Contact: Name and Title: George Finch, ASLA
 Address: 309 N. Boylan Ave., Raleigh, NC 27603
 Phone #: 919-833-1212 Email: gfinch@gfba.net

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATA TABLE
 (Applicable to all developments)

ZONING INFORMATION

Official zoning: R-6
 Zoning districts: (if more than one, provide acreage of each): R-6

Overlay district: (NONE) Inside City limits? Yes No
 Conditional Use District (CUD) Case # Z: (NONE) Board of Adjustment (BOA) Case # A: (NONE)

STORMWATER INFORMATION

Existing Impervious Surface:
 Acres: 0 Square Feet: 0
 Proposed Impervious Surface:
 Acres: 0.068 Square Feet: 3634

Nasca River Buffer: Yes No
 Is this a flood hazard area? Yes No
 If yes, please provide the following:
 Alluvial soils:
 Flood study:
 FEMA Map Panel #:

NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: Detached 0 Attached 0
 Total # of single-family lots: 3
 Proposed density for each zoning district (UDC 1.5.2.F): **6.7 units/acre**
 Total # of open space and/or common area lots: 0
 Total # of requested lots: 3

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in the application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, George Finch will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

Use have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications expire after 180 days of inactivity.

Signature: George Finch Date: 9/17/2021
 Printed Name: George Finch
 Signature: _____ Date: _____
 Printed Name: _____

Please email your completed application to SiteReview@raleighnc.gov.

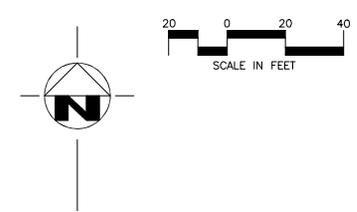
REVISIONS
 1/18/2021 1ST REVIEW COMMENTS
 1/17/2022 2ND REVIEW COMMENTS

George M. Finch, Jr.
 309 North Boylan Avenue
 Raleigh, NC 27603-1402
 P 919 833-1212
 F 919 833-1212
 NREBA Lic. No. P-1244
 NREBA Lic. No. C-656

FINCH
 BONEY & ASSOCIATES
 ENGINEERS, ARCHITECTS AND ASSOCIATES

PRELIMINARY SUBDIVISION PLAN
 4001 MAYNARD PLACE
 RALEIGH, NORTH CAROLINA

DRAWN BY: MBV
 CHECKED BY: GVF
 DATE: 9/17/2021
 SHEET 5 OF 4



REVISIONS

1	12/8/2021	1ST REVIEW COMMENTS
2	4/7/2022	2ND REVIEW COMMENTS

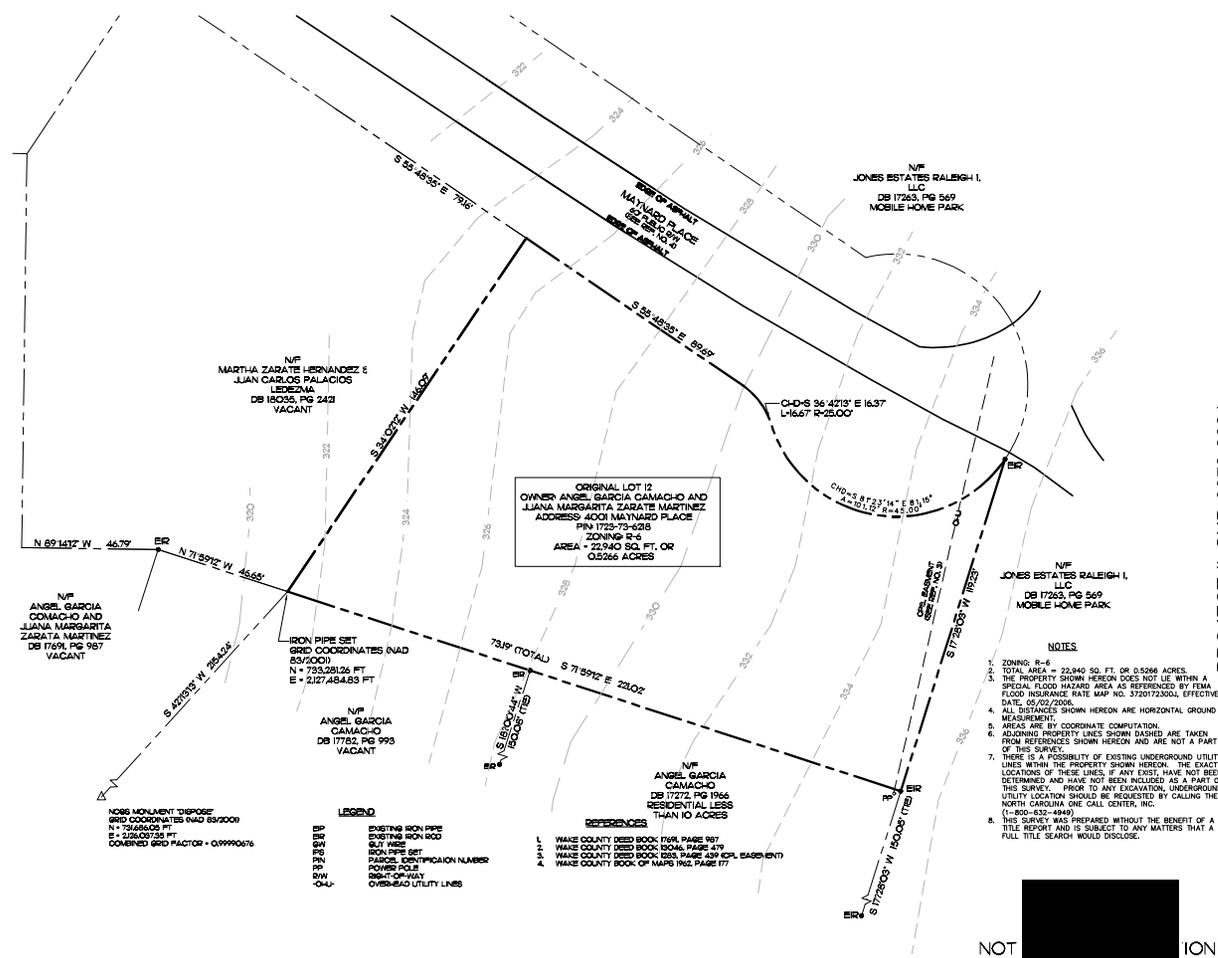
John S. Matthews
 2200 North Reynolds Avenue
 Raleigh, NC 27603-1402
 P 919 832-1222
 F 919 832-1222
 JSM@FINCH-AND-ASSOCIATES.COM
 NCELS Lic. No. P-1845
 NCELS Lic. No. C-858



PROJECT #: SUB-0073-2021

PRELIMINARY SUBDIVISION PLAN
 4001 MAYNARD PLACE
 RALEIGH, NORTH CAROLINA

DRAWN BY: MVB
 CHECKED BY: GMP
 PROJ. NO. 2016
 DATE: 5/11/2021
 SHEET 1 OF 4



ORIGINAL LOT 12
 OWNER ANGEL GARCIA CAMACHO AND
 JUANA MARGARITA ZARATE MARTINEZ
 ADDRESS: 4001 MAYNARD PLACE
 PIN 1723-73-626
 ZONING R-4
 AREA = 22,940 SQ. FT. OR
 0.5266 ACRES

- NOTES
- ZONING: R-4
 - TOTAL AREA = 22,940 SQ. FT. OR 0.5266 ACRES.
 - THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS REFERENCED BY FEMA FLOOD INSURANCE RATE MAP NO. 37201723002, EFFECTIVE DATE: 05/02/2006.
 - ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND MEASUREMENT.
 - AREAS ARE BY COORDINATE COMPUTATION.
 - ADJOINING PROPERTY LINES SHOWN DASHED ARE TAKEN FROM REFERENCES SHOWN HEREON AND ARE NOT A PART OF THIS SURVEY.
 - THERE IS A POSSIBILITY OF EXISTING UNDERGROUND UTILITY LINES WITHIN THE PROPERTY SHOWN HEREON. THE EXACT LOCATIONS OF THESE LINES, IF ANY EXIST, HAVE NOT BEEN DETERMINED AND HAVE NOT BEEN INCLUDED AS A PART OF THIS SURVEY. PRIOR TO ANY EXCAVATION, UNDERGROUND UTILITY LOCATION SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.

LEGEND

- ESP EXISTING IRON PIPE
- ESR EXISTING IRON ROD
- GW GUY WIRE
- SPW IRON PIPE SET
- PP PARCEL IDENTIFICATION NUMBER
- PP POWER POLE
- SPW-T-CP-WAY 300-T-CP-WAY
- GAL OVERHEAD UTILITY LINES

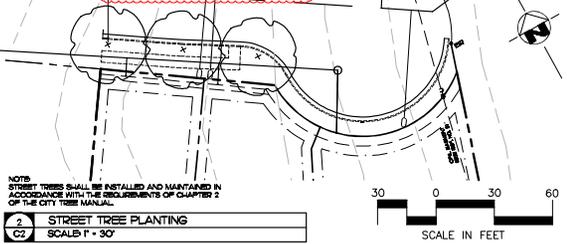
REFERENCES

- WAKE COUNTY DEED BOOK 1769, PAGE 907
- WAKE COUNTY DEED BOOK 1804, PAGE 479
- WAKE COUNTY DEED BOOK 1805, PAGE 439 KPL BASINMENT
- WAKE COUNTY BOOK OF MAPS, PG. 176

NOSS MONUMENT DEPOSE
 GRID COORDINATES NAD 83(2000)
 N = 736262.03 FT
 E = 226207.58 FT
 COVERED GRID FACTOR = 0.9999016

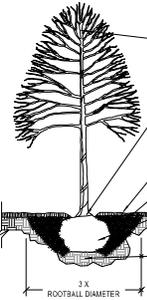
EXISTING CONDITIONS
 SCALE 1" = 20'

GRACES PLUMBING
 SOUTH SIK SLOTT TANK
 40 O.C.
 MINIMUM COVER BY HEIGHT AT INSTALLATION
 60" H X 30" W AT MATURITY



NOTES:
 STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

2 STREET TREE PLANTING
 C2 SCALE 1" = 30'



DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARDS

REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE. NO HIGHER THAN 2" ABOVE GRADE. AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB

MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM

PLANTING SOIL MIX AROUND ROOT BALL. 600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE

COMPLETELY REMOVE TOP HALF OF BURLAP. LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM SITE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL

ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

- CONTACT INFORMATION:
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER
 TREES@RALEIGH.GOV
 WWW.RALEIGHNC.GOV
- NOTES:
 1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS (POSITIVE DRAINAGE AWAY FROM PIT)
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH	
STANDARD DETAIL	
REVISED	DATE
000000	000.00.00.00
TREE PLANTING DETAIL	
TPP-03	

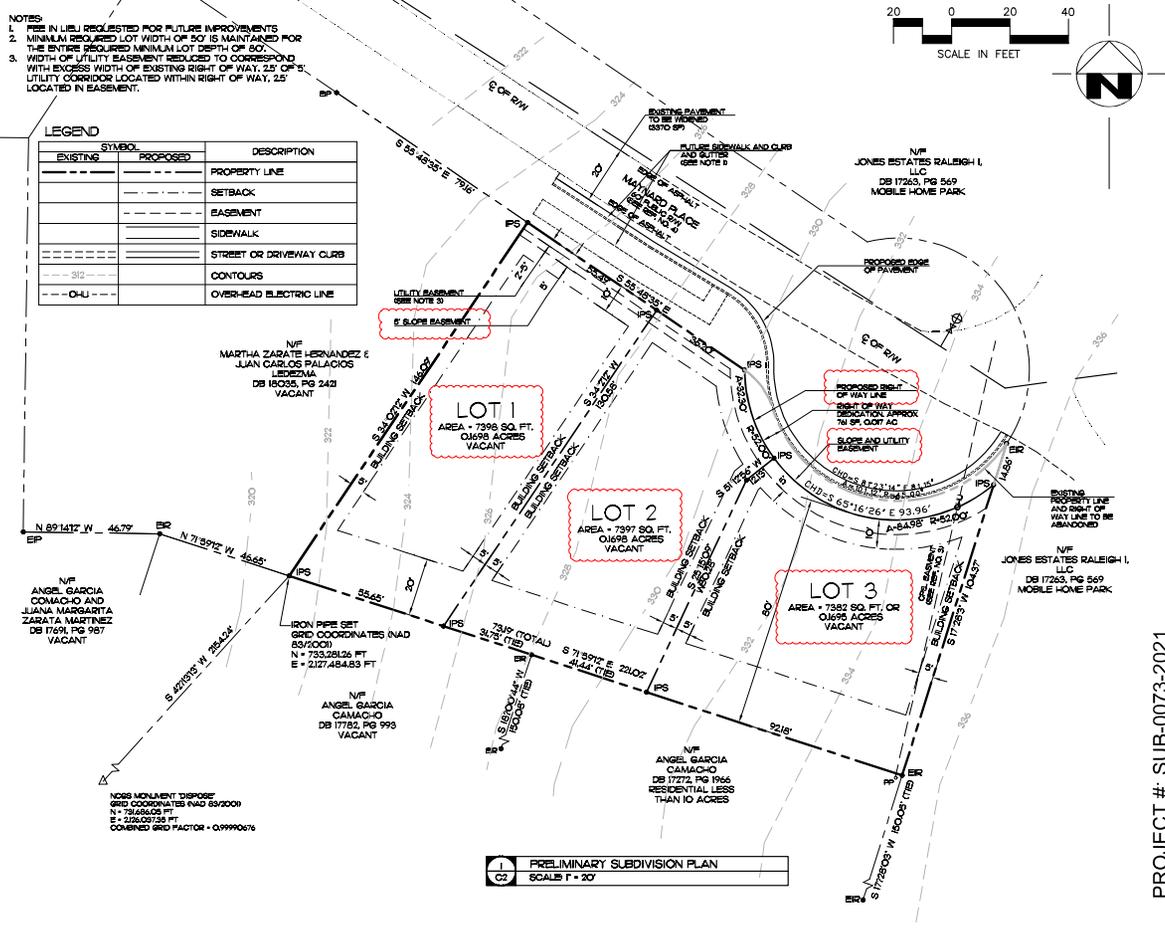
PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4343).



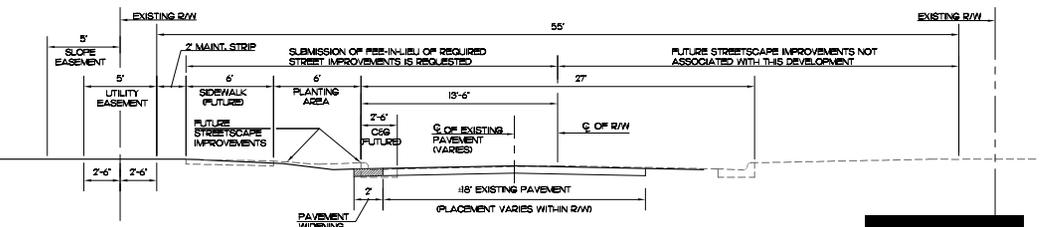
- NOTES:
 1. TREE IN LULU REQUESTED FOR FUTURE IMPROVEMENTS
 2. MINIMUM REQUIRED LOT WIDTH OF 50' IS MAINTAINED FOR THE ENTIRE REQUIRED MINIMUM LOT DEPTH OF 50'.
 3. WIDTH OF UTILITY EASEMENT REDUCED TO CORRESPOND WITH EXCESS WIDTH OF EXISTING RIGHT OF WAY. 25' OF UTILITY CORRIDOR LOCATED WITHIN RIGHT OF WAY. 25' LOCATED IN EASEMENT.

LEGEND

SYMBOL	DESCRIPTION
---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	SETBACK
---	EASEMENT
---	SIDEWALK
---	STREET OR DRIVEWAY CURB
---	CONTOURS
---	OVERHEAD ELECTRIC LINE



1 PRELIMINARY SUBDIVISION PLAN
 C2 SCALE 1" = 20'



3 TYPICAL STREET SECTION
 C3 SCALE 1/4" = 1'-0"

REVISIONS
 17/06/2021 1ST REVIEW COMMENTS
 17/02/2022 2ND REVIEW COMMENTS

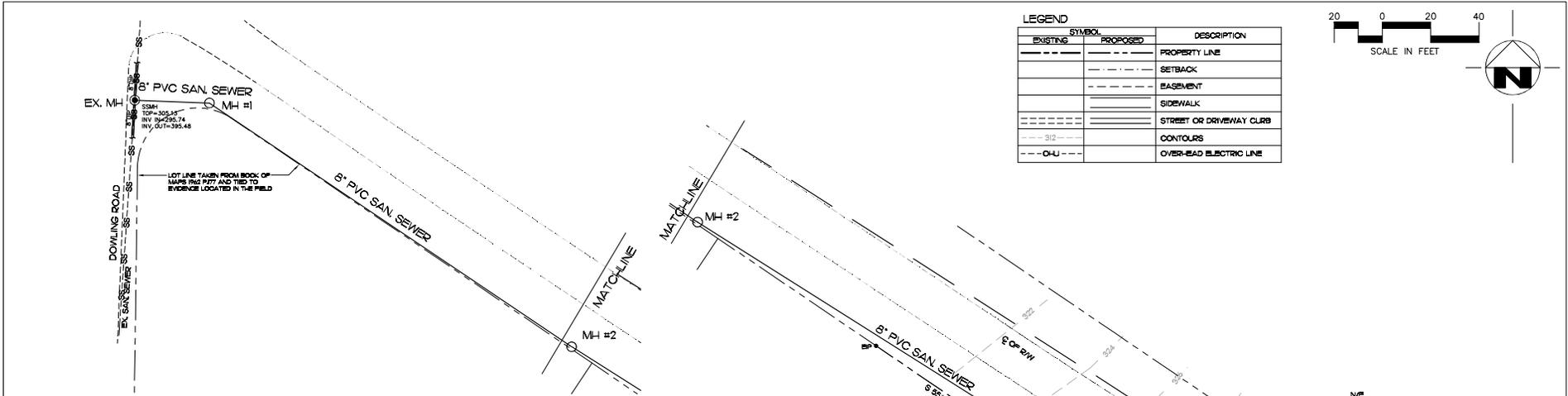
City of Raleigh
 200 North Raleigh Avenue
 Raleigh, NC 27603-1402
 P 919.832-1232
 F 919.832-1232
 NREBA Lic. No. C-104
 NREBA Lic. No. C-056

FINCH
 ENGINEERS, ARCHITECTS & ASSOCIATES
 1000 W. GARRISON ST. SUITE 100
 RALEIGH, NC 27603

PROJECT #: SUB-0073-2021

PRELIMINARY SUBDIVISION PLAN
 4001 MAYNARD PLACE
 RALEIGH, NORTH CAROLINA

DRAWN BY: MVB
 CHECKED BY: GWF
 PROJ. NO.: 2016
 DATE: 9/17/2021
 SHEET 1 OF 4



CITY OF RALEIGH STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS. DETAILS & SPECIFICATIONS REFERENCED CORPUL HANDBOOK, CURRENT EDITION
- UTILITY SEPARATION REQUIREMENTS
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNPROTECTED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PRESSURE SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER CORPUL DETAILS MH#1 & SH#9.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCED NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FOREMANS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE BASEMENT IMMEDIATELY ADJACENT. NOTE IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE. INSTALL 2" PVC WATER SERVICES & 1/2" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR BASEMENT LINE & SPACED EVERY 75' LINEAR FEET. MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDD, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER SEWER, AND/OR EIE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2400, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-5440 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL INFRINGE ON MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSCREEN PLUG, HAVE PERMITTED PLANS ON THE SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

Public
Water Distribution / Extension System

The City of Raleigh controls the operation and behavior of the City's public water system. The materials and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

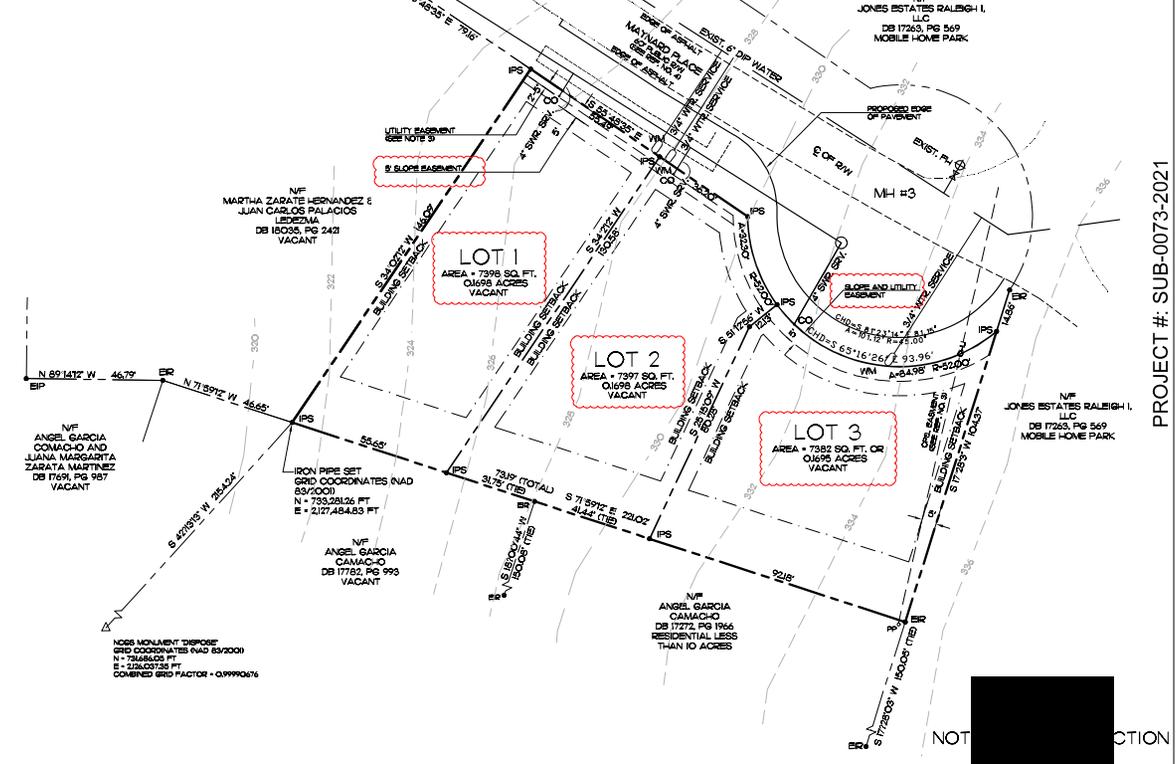
Public
Sewer Collection / Extension System

The City of Raleigh controls the operation and behavior of the City's public sewer system as shown on this plan. The materials and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

811
Call before you dig.
www.811nc.com

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



REVISIONS

12/8/2021	1ST REVIEW	
1/7/2022	COMMENTS	
3/8/2022	2ND REVIEW	
	COMMENTS	

City of Raleigh
200 North Tryon Avenue
Raleigh, NC 27603-1402
P 919 832-1232
F 919 832-1232
NCE&A Lic. No. C-104
NCE&A Lic. No. C-859



PROJECT #: SUB-0073-2021

PRELIMINARY SUBDIVISION PLAN
4001 MAYNARD PLACE
RALEIGH, NORTH CAROLINA

DRAWN BY: MMB
CHECKED BY: GVF
PROJ. NO. 2016
DATE: 9/17/2021
C3 SHEET 1 OF 4

UTILITIES PLAN
SCALE 1" = 20'